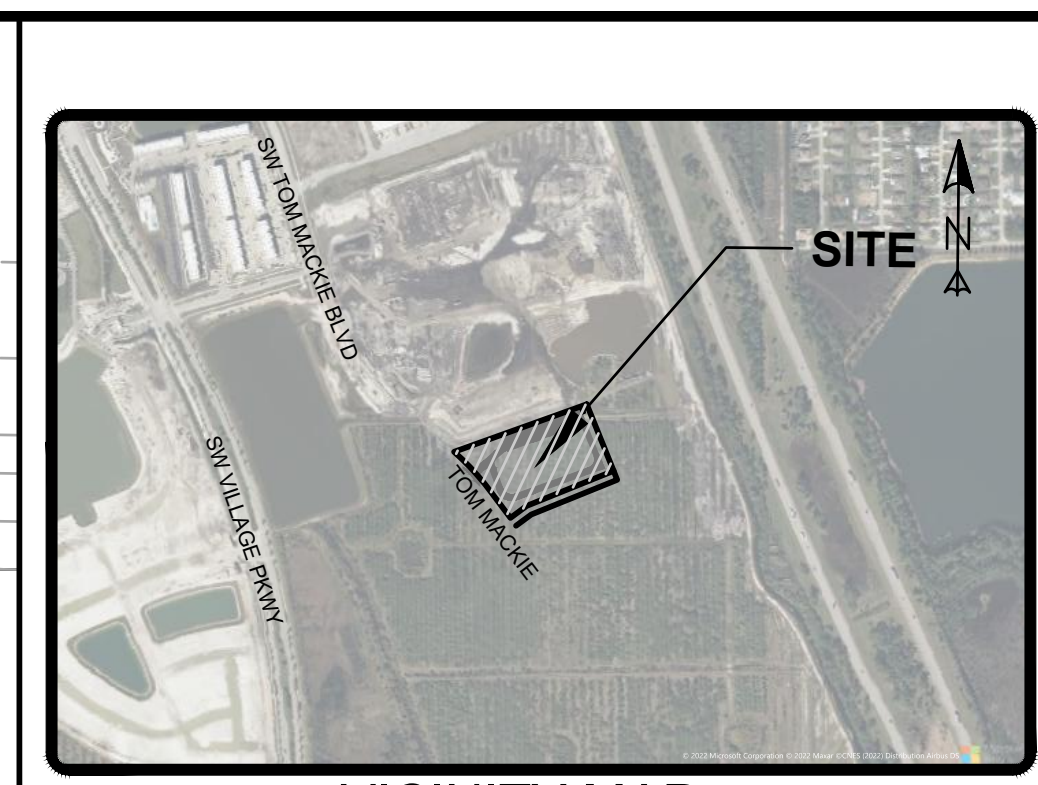
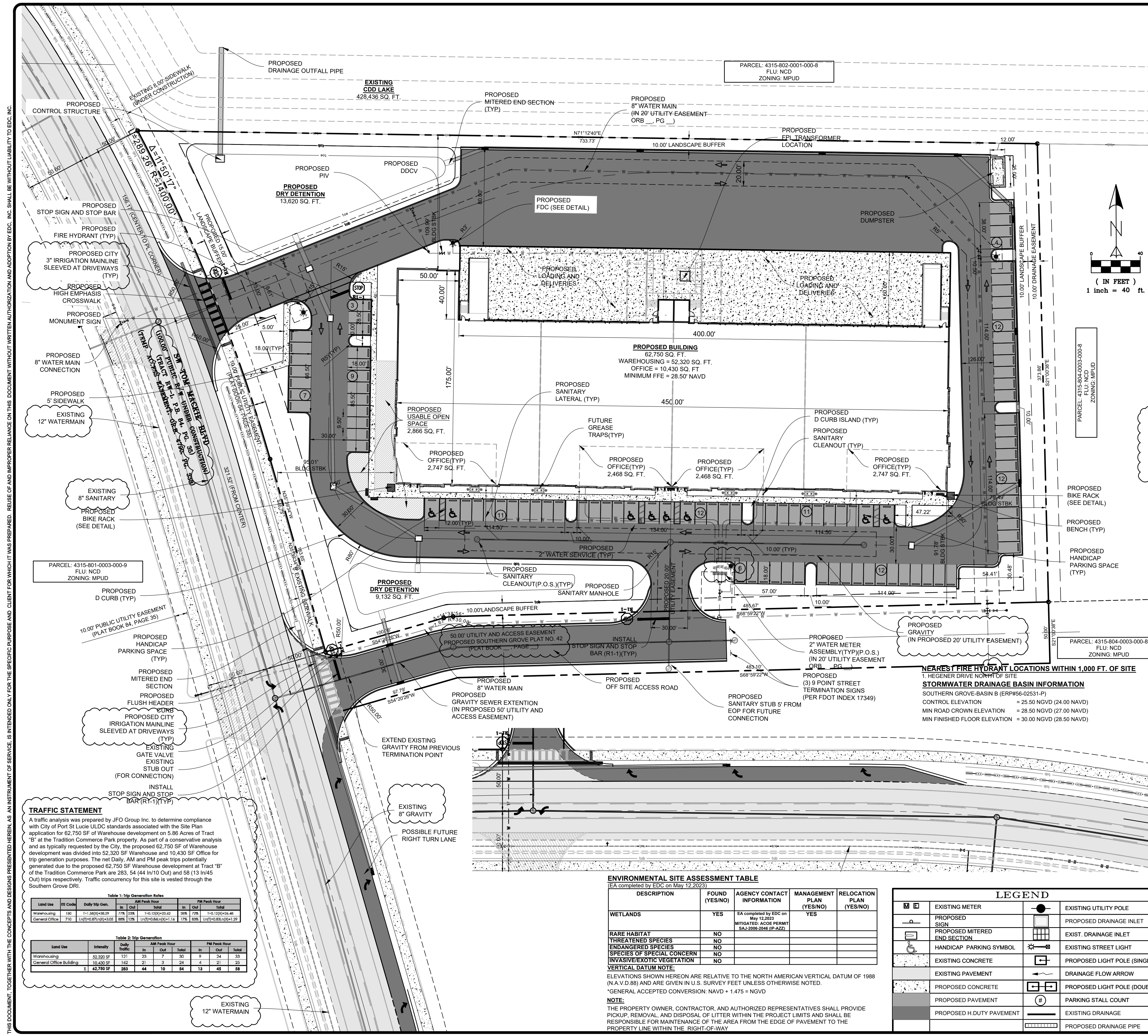


Z:\EDC-2022\22-398 - Tambone - TCC Parcel B\ENGINEERING\AutoCAD\DWG\22-398 Tambone Parcel B SP7.dwg, SP, 11/20/2023 9:30:01 AM, James, EDC, Inc.



SITE DATA
 LEGAL DESCRIPTION: TRACT B, Southern Grove Plat No 42 as Recorded in Plat Book 119, Page 37 of the Public Records of St. Lucie County Florida.
 SCALE: 1:1,000

PARCEL ID #: 4315-804-0003-010-1
PROJECT NAME: TCC TRACT B
OWNERSHIP: PSL 1850 LLC
 3710 BUCKEYE ST. SUITE 100
 PALM BEACH GARDENS, FL 33410

FUTURE LAND USE: (NCD) NEW COMMUNITY DEVELOPMENT
ZONING: (MPUD) MASTER PLANNED UNIT DEVELOPMENT
LAND SIZE: 255,145 S.F. (5.857 AC)

BUILDING DATA

GROSS SQUARE FOOTAGE	62,750 S.F. (24.99 AC)
PROPOSED BUILDING	62,750 S.F. (1.44 AC)
OFFICE	10,430 S.F. (0.24 AC)
WAREHOUSING	52,320 S.F. (1.20 AC)

ZONING CODE FOR: (MPUD) MASTER PLANNED UNIT DEVELOPMENT

	YARD SETBACKS	BUILDING	BUILDING	OPEN SPACE	USABLE		
PER CODE	FRONT	REAR	SIDE	COVERAGE	HEIGHT	(LANDSCAPING)	5% (MIN)
PROPOSED	95'	79'	90'	24.59%	43'	21.34%	5.26%

SITE AREA DATA

IMPERVIOUS DATA	255,145 S.F.	5.86 AC	100.00%
PROPOSED BUILDINGS	177,942 S.F.	4.08 AC	69.74%
PROPOSED PAVEMENT	62,750 S.F.	1.44 AC	24.59%
PROPOSED CONCRETE	89,030 S.F.	2.04 AC	34.89%
PERVIOUS DATA	26,162 S.F.	0.60 AC	10.25%
OPEN SPACE	77,203 S.F.	1.77 AC	30.26%
PROPOSED DETENTION	54,451 S.F.	1.25 AC	21.34%
PROPOSED DETENTION	22,752 S.F.	0.52 AC	8.92%

PARKING DATA

WAREHOUSING REQUIRED	(52,320 @ 1 SPACE/ 1,000 SQ. FT.)	53 SPACES
OFFICE	(10,430 @ 4 SPACES/ 1,000 SQ. FT.)	42 SPACES
TOTAL REQUIRED PARKING SPACES		95 SPACES (6 HC)
PARKING PROVIDED		100 SPACES (8 HC)

STORMWATER DRAINAGE BASIN INFORMATION
 T: HEGENER DRIVE NORTH OF SITE
 SOUTHERN GROVE BASIN B (ERP#96-02531-P)
 CONTROL ELEVATION = 28.50 NGVD (24.00 NAVD)
 MIN ROAD CROWN ELEVATION = 28.50 NGVD (27.00 NAVD)
 MIN FINISHED FLOOR ELEVATION = 30.00 NGVD (28.50 NAVD)

SOLID WASTE:
 BASED ON THE INTENDED USE OF THE BUILDING, THIS PROJECT WILL UTILIZE A DUMPSTER AREA FOR SOLID WASTE AND RECYCLABLE ITEMS.

HAZARDOUS WASTE:
 ANY AND ALL HAZARDOUS OR TOXIC MATERIALS GENERATED OR USED OR STORED ON SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.

LANDSCAPE:
 REFER TO LANDSCAPE PLAN BY OTHERS.

ACCESSIBILITY AND ADA COMPLIANCE:
 ALL SIDEWALKS AND RAMPS WILL MEET FDOT AND ADA REQUIREMENTS.

TRAFFIC STATEMENT
 A traffic analysis was prepared by JFO Group Inc. to determine compliance with City of Port St Lucie ULDC standards associated with the Site Plan application for 62,750 SF of Warehouse development on 5.86 Acres of Tract "B" at the Tradition Commerce Park property. As part of a conservative analysis and as typically requested by the City, the proposed 62,750 SF of Warehouse development was divided into 52,320 SF Warehouse and 10,430 SF Office for trip generation purposes. The net Daily AM and PM peak trips potentially generated due to the proposed 62,750 SF Warehouse development at Tract "B" of the Tradition Commerce Park are 283, 54 (44 In/10 Out) and 58 (13 In/45 Out) trips respectively. Traffic concurrency for this site is vested through the Southern Grove DRI.

Table 1: Trip Generation Index

Land Use	FE Code	Daily Trip Gen.	AM Peak Hour		PM Peak Hour	
			In	Out	In	Out
Warehousing	150	11,800-48,320	176	176	143	143
General Office	710	1,107-8,710	142	142	127	127

Table 2: Trip Generation

Land Use	Intensity	Daily Traffic	AM Peak Hour		PM Peak Hour		
			In	Out	In	Out	
Warehousing	52,320 SF	121	23	30	0	24	33
General Office Building	10,430 SF	142	21	3	24	7	21
	62,750 SF	263	44	33	24	13	45

ENVIRONMENTAL SITE ASSESSMENT TABLE
 (EA completed by EDC on May 12, 2023)

DESCRIPTION	FOUND (YES/NO)	AGENCY CONTACT INFORMATION	MANAGEMENT PLAN (YES/NO)	RELOCATION PLAN (YES/NO)
WETLANDS	YES	EA completed by EDC on May 12, 2023 MITIGATED ACRES PERMIT (BAJ-2005-2044 (IP-422))	YES	
RARE HABITAT	NO			
THREATENED SPECIES	NO			
ENDANGERED SPECIES	NO			
SPECIES OF SPECIAL CONCERN	NO			
INVASIVE/EXOTIC VEGETATION	NO			

LEGEND

EXISTING METER	EXISTING UTILITY POLE
PROPOSED SIGN	PROPOSED DRAINAGE INLET
PROPOSED MITERED END SECTION	EXIST. DRAINAGE INLET
HANDICAP PARKING SYMBOL	EXISTING STREET LIGHT
EXISTING CONCRETE	PROPOSED LIGHT POLE (SINGLE)
EXISTING PAVEMENT	DRAINAGE FLOW ARROW
PROPOSED CONCRETE	PROPOSED LIGHT POLE (DOUBLE)
PROPOSED PAVEMENT	PARKING STALL COUNT
PROPOSED H.DUTY PAVEMENT	EXISTING DRAINAGE
	PROPOSED DRAINAGE PIPE

10250 VILLAGE PARKWAY
 SUITE 201
 PORT ST. LUCIE, FL 34987
 772-462-2455
 www.edc-inc.com

F.B.P.E. CERTIFICATE OF AUTHORIZATION 9935
 L.B. CERTIFICATE OF AUTHORIZATION 8998

DESIGNED BY: EDC
 DRAWN BY: JAL
 FILE NAME: 22-398 Tambone Parcel B.dwg
 LAYOUT: AS SHOWN
 SCALE: AS SHOWN
 DATE: 3/30/2023

RESPONSE TO COMMENTS FROM B. KEAN CITY PSL
 11/20/2023
 RESPONSE TO COMMENTS FROM B. KEAN CITY PSL
 11/27/2023
 RESPONSE TO COMMENTS FROM B. KEAN CITY PSL
 12/12/2023

**TAMBONE - TCC TRACT B
 SOUTHERN GROVE PLAT 42 TRACT B
 TRADITION COMMERCIAL CHARTER
 SITE PLAN**

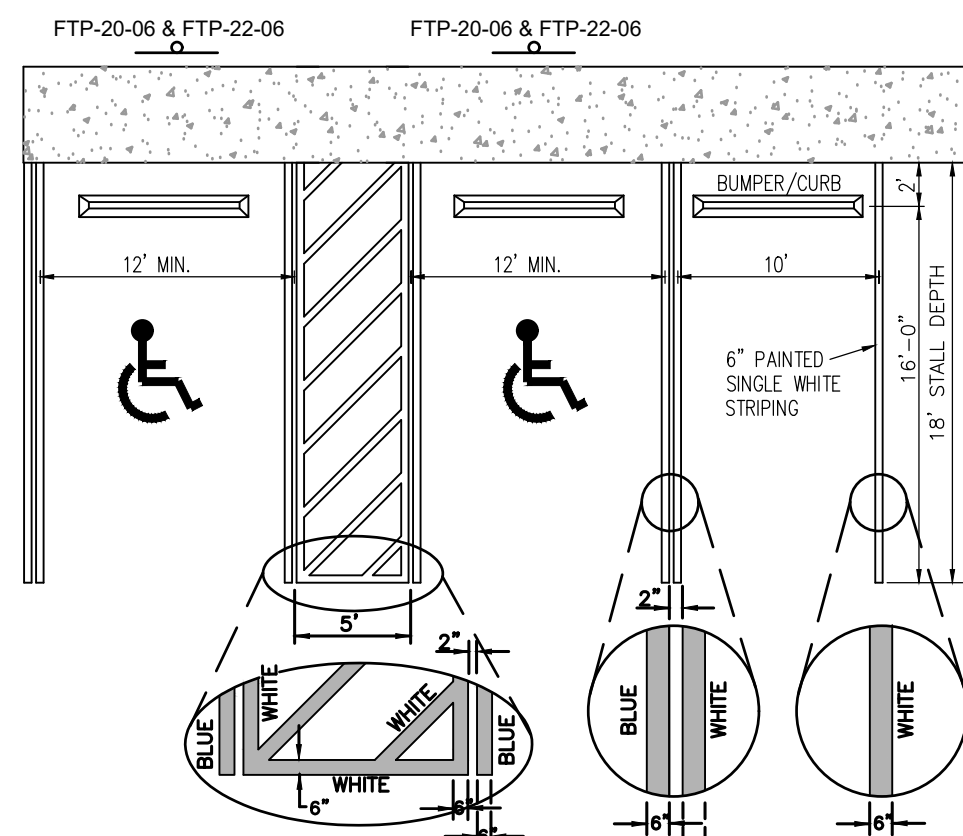
FLORIDA
 PORT ST. LUCIE

10250 SW VILLAGE PKWY - SUITE 201
 PORT SAINT LUCIE, FL
 772-462-2455

22-398

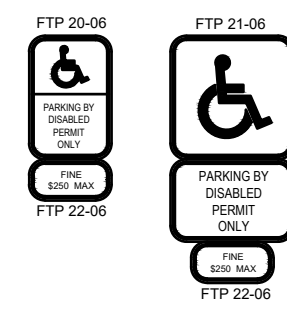
1 OF 2



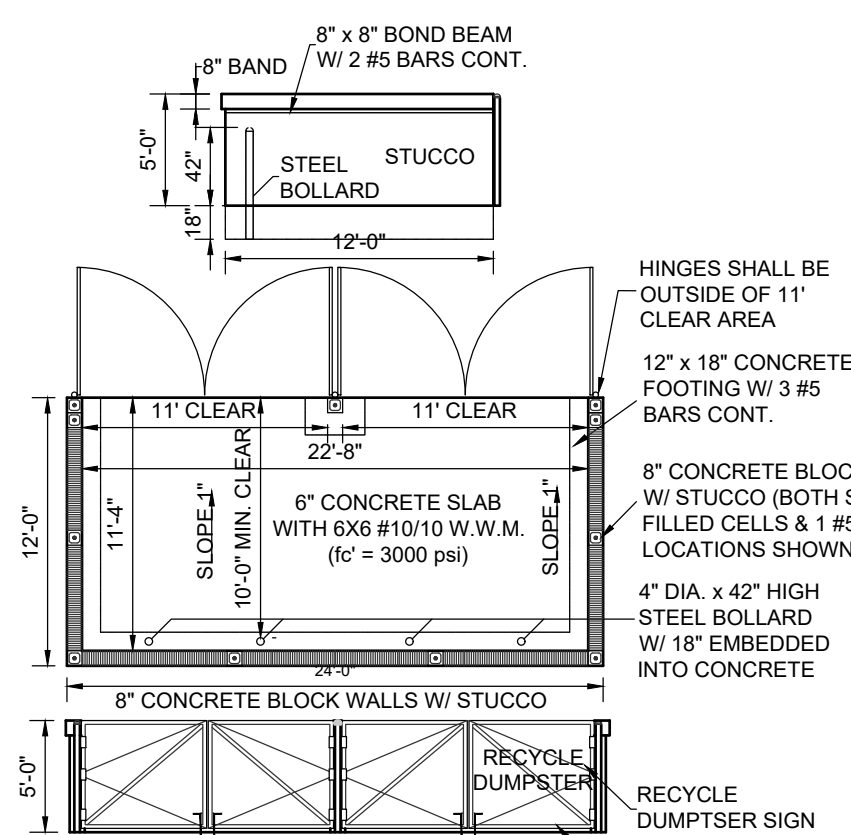


GENERAL NOTES:
 A) ALL PARKING SPACES WITH EXCEPTION OF HANDICAPPED PARKING SPACES SHALL BE MARKED IN WHITE, RETRO-REFLECTIVE TRAFFIC PAINT AND BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION 2010 SECTION 710.
 B) ALL HANDICAPPED PARKING SPACES SHALL BE PROPERLY SIGNED AND STRIPED IN ACCORDANCE WITH THE FDOT STANDARD INDEX 17346, FY 2017-18.
 C) ALL COMPACT SPACES SHALL BE MARKED "COMPACT" ON THE STALL OR TIRE STOP.

HANDICAPPED SPACE DETAIL 18' PARKING STALL DETAIL

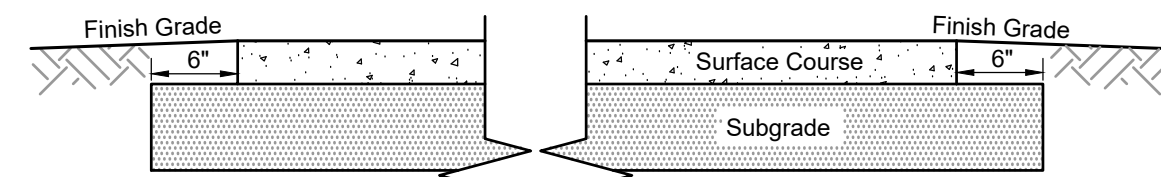


NOTES:
 1. FTP 20-06: TOP PORTION SHALL HAVE REFLECTIVE BLUE BACKGROUND WITH WHITE REFLECTIVE SYMBOL AND BORDER. BOTTOM PORTION SHALL HAVE A REFLECTIVE WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
 2. FTP 21-06: TOP PORTION SHALL HAVE REFLECTIVE BLUE BACKGROUND WITH WHITE REFLECTIVE SYMBOL AND BORDER. BOTTOM PORTION SHALL HAVE A REFLECTIVE WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
 3. FTP 20-06 IS FOR USE IN AREAS WHERE SPACE IS LIMITED.
 4. FTP 22-06 IS SUPPLEMENTAL PANEL FOR THE FTP 20-06 & FTP 21-06 SIGNS.
 5. HEIGHT SHALL BE 7 FEET MEASURED FROM THE GROUND OR SIDEWALK TO THE BOTTOM OF "PERMIT ONLY" SIGN OR 8 FEET TO THE BOTTOM OF "NO STOPPING" SIGN.
 6. REFER TO FDOT INDEX NO. 711-001 FOR PAVEMENT MARKING DETAILS & FDOT INDEX NO. 700-102 SIGN DETAILS PER THE LATEST FDOT DESIGN STANDARDS.



24' x 12' DUMPSTER DETAIL

NOTE:
 OPENING MUST BE PERPENDICULAR TO LINE OF FLIGHT OF SERVICE VEHICLE.

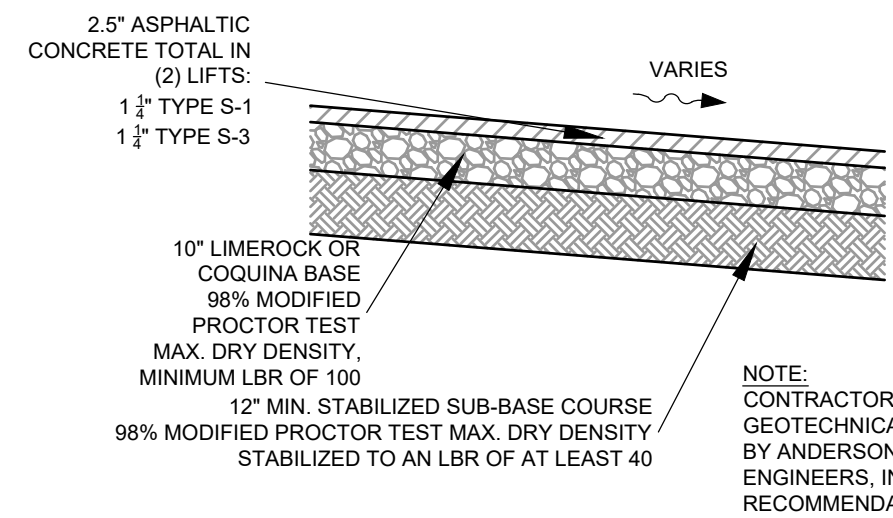


SURFACE COURSE: 8" CONCRETE PAVEMENT. CONCRETE SURFACE COURSE SHOULD BE COMPACTED TO AT LEAST 98% OF ITS MODIFIED PROCTOR (AASHTO T-180) AND HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4000 PSI.

SUBGRADE: THE SUBBASE MATERIAL TO A DEPTH OF 12" SHOULD HAVE A MINIMUM LIMEROCK BEARING RATION (LBR) VALUE (FDOT FM 5-515) OF 40 AND IT SHOULD BE COMPACTED TO AT LEAST 98% OF ITS MODIFIED PROCTOR (ASTM D 1557 OR AASHTO-180) MAXIMUM DRY DENSITY. THE SURFICIAL FINE SAND (SP) ON THIS SITE DOES NOT APPEAR TO HAVE THE REQUIRED LBR VALUE AND MAY REQUIRE MIXING. THE SUBGRADE SURFACE SHOULD BE SATURATED IMMEDIATELY PRIOR TO CONCRETE.

NOTE: PLACEMENT TO PROVIDE ADEQUATE MOISTURE FOR CURING THE CONCRETE. SURFACE COURSE AND SUBGRADE CONSTRUCTION WITHIN THE RIGHT-OF-WAY SHALL BE ACCORDING TO FDOT INDEX NO. 000-515 AND SECTIONS 520 AND 522 OF THE FDOT STANDARD SPECIFICATIONS.

TYPICAL 8" CONCRETE SECTION



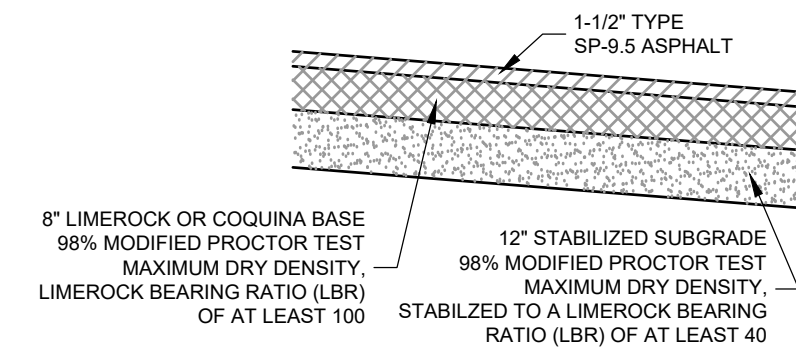
TYPICAL ON-SITE PAVEMENT SECTION (HEAVY DUTY)
 NOT TO SCALE

2.5" ASPHALTIC CONCRETE TOTAL IN (2) LIFTS:
 1 1/2" TYPE S-1
 1 1/2" TYPE S-3

10" LIMEROCK OR COQUINA BASE
 98% MODIFIED PROCTOR TEST
 MAX. DRY DENSITY,
 MINIMUM LBR OF 100

12" MIN. STABILIZED SUB-BASE COURSE
 98% MODIFIED PROCTOR TEST MAX. DRY DENSITY
 STABILIZED TO AN LBR OF AT LEAST 40

NOTE:
 CONTRACTOR TO REFER TO GEOTECHNICAL REPORT PREPARED BY ANDERSON ANDRE CONSULTING ENGINEERS, INC. FOR PAVEMENT RECOMMENDATIONS

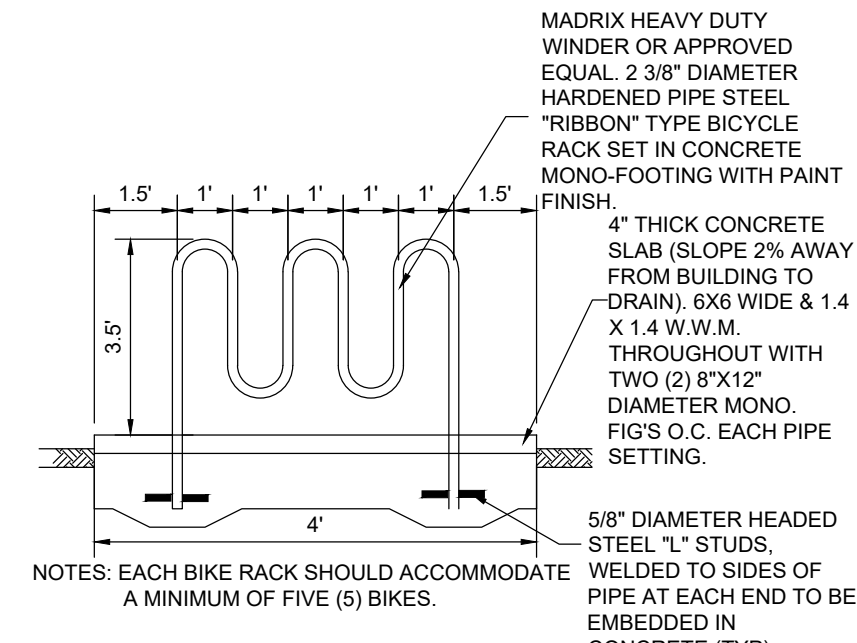


TYPICAL PAVEMENT SECTION
 N.T.S.

8" LIMEROCK OR COQUINA BASE
 98% MODIFIED PROCTOR TEST
 MAXIMUM DRY DENSITY,
 LIMEROCK BEARING RATIO (LBR)
 OF AT LEAST 100

12" STABILIZED SUBGRADE
 98% MODIFIED PROCTOR TEST
 MAXIMUM DRY DENSITY,
 STABILIZED TO A LIMEROCK BEARING RATIO (LBR) OF AT LEAST 40

1-1/2" TYPE SP-9.5 ASPHALT



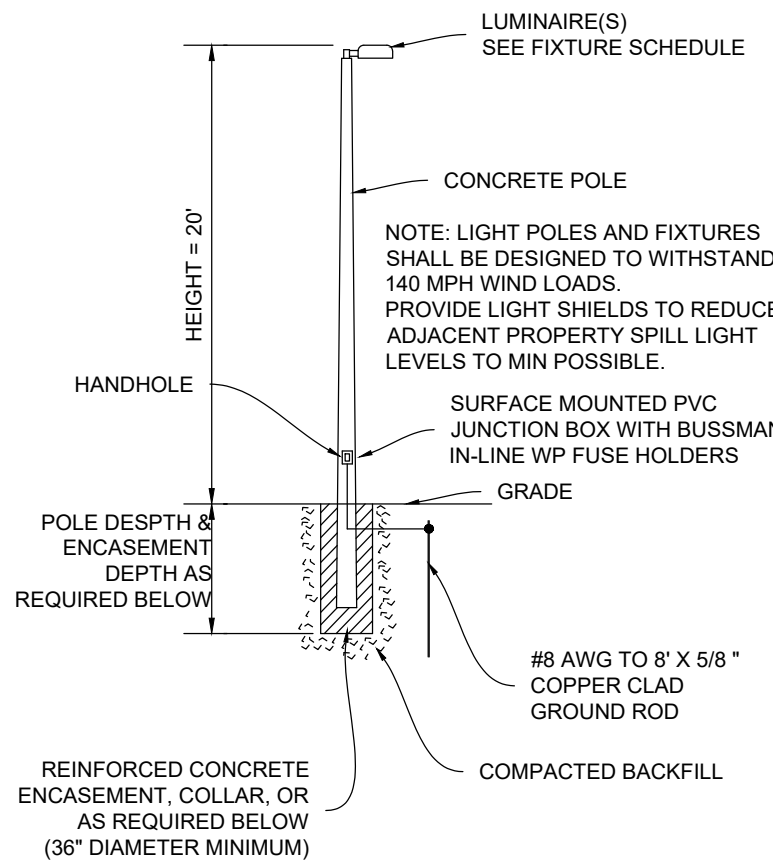
TYPICAL BIKE RACK DETAIL
 N.T.S.

MADRIX HEAVY DUTY WINDER OR APPROVED EQUAL. 2.38" DIAMETER HARDENED PIPE STEEL "RIBBON" TYPE BICYCLE RACK SET IN CONCRETE MONO-FOOTINGS WITH PAINT FINISH.

4" THICK CONCRETE SLAB (SLOPE 2% AWAY FROM BUILDING TO DRAIN). 6X6 WIDE & 1.4 X 1.4 W.W.M. THROUGHOUT WITH TWO (2) 8"x12" DIAMETER MONO. FIGS O.C. EACH PIPE SETTING.

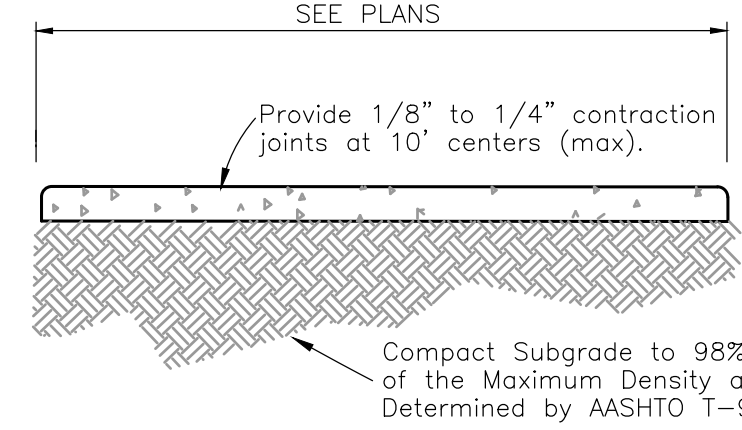
5/8" DIAMETER HEADED STEEL "L" STUDS WELDED TO SIDES OF PIPE AT EACH END TO BE EMBEDDED IN CONCRETE (TYP)

NOTES: EACH BIKE RACK SHOULD ACCOMMODATE A MINIMUM OF FIVE (5) BIKES.



POLE MOUNTING DETAIL
 N.T.S.

NOTE:
 PROVIDE SHOP DRAWINGS SIGNED AND SEALED BY A FLORIDA REGISTERED PROFESSIONAL ENGINEER. SHOP DRAWINGS SHALL INCLUDE THE POLE, LUMINAIR, AND REINFORCED CONCRETE ENCASUREMENT CALCULATIONS TO SHOW COMPLIANCE WITH FLORIDA BUILDING CODE. FOR WIND LOADINGS. SHOP DRAWINGS MAY BE FOR WORSE CASE SOIL CONDITIONS OR MAY BE BASED ON ACTUAL SITE SOIL BORINGS AND ANALYSIS FOR EACH POLE LOCATION AS VERIFIED BY THE FLORIDA REGISTERED PROFESSIONAL ENGINEER AND DOCUMENTED IN THE SHOP DRAWINGS. ALL ASSOCIATED COSTS FOR THE TOTAL INSTALLATION INCLUDING SHOP DRAWINGS, SOIL TESTING AND DESIGN FEES SHALL BE INCLUDED IN THE CONTRACT.

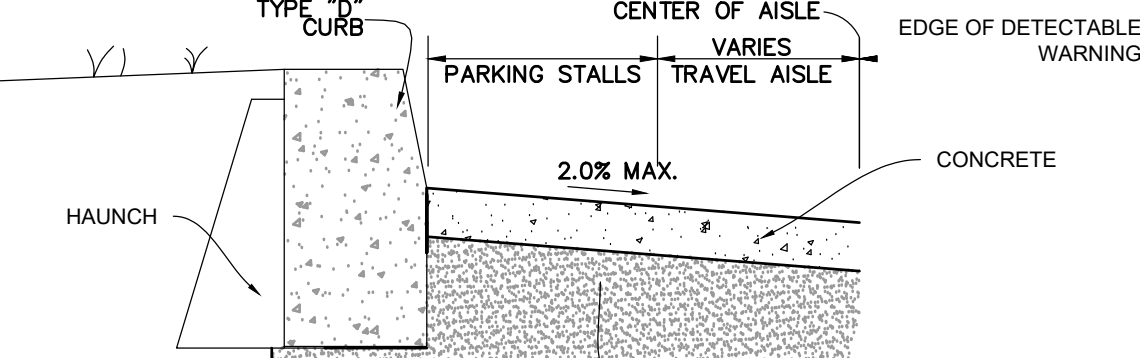


4" THICK SIDEWALK DETAIL
 NOT TO SCALE

NOTE:
 Provide 1/8" to 1/4" contraction joints at 10' centers (max).

Compact Subgrade to 98% of the Maximum Density as Determined by AASHTO T-99

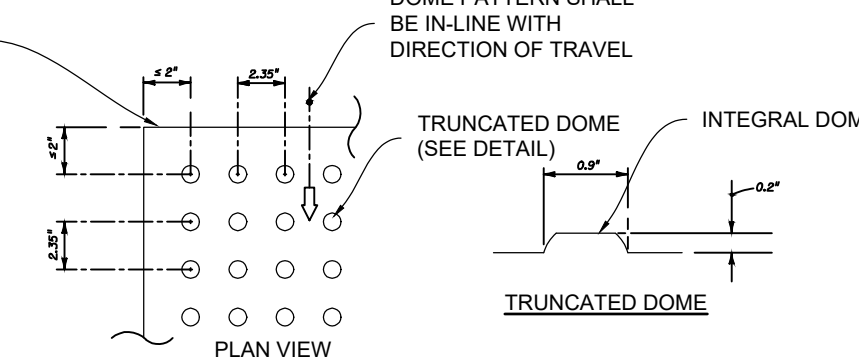
NOTES:
 1. USE 3,000 P.S.I. CONCRETE AT 28 DAYS FOR SIDEWALK CONSTRUCTION.
 2. SIDEWALK THICKNESS TO BE INCREASED TO 6" THICK AT DRIVEWAY LOCATIONS.
 3. ALL REPAIRS REQUIRED DURING CONSTRUCTION SHALL BE REMOVED AND REPLACED 10' MINIMUM TO NEXT FULL JOINT.
 4. ALL SIDEWALK WITHIN FDOT RIGHT-OF-WAY TO BE CONSTRUCTED PER STANDARD PLANS 522-001.



PARKING LOT SECTION W/ TYPE "D" CURB

NOTE:
 12" MIN. STABILIZED SUB-BASE COURSE
 98% MODIFIED PROCTOR TEST MAX. DRY DENSITY
 STABILIZED TO AN LBR OF AT LEAST 40

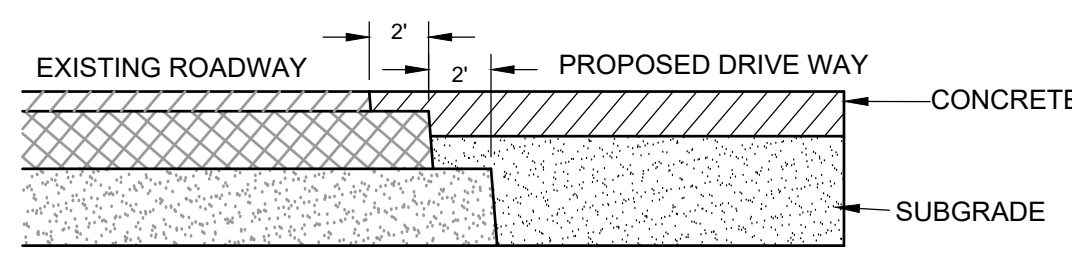
NOTES:
 1. TYPICAL PAVEMENT TO BE APPLIED TO ENTIRE PARKING LOT AND ENTRANCE DRIVEWAY.
 2. USE 3,000 P.S.I. CONCRETE AT 28 DAYS FOR CONSTRUCTION.
 3. SUBGRADE TO EXTEND BEYOND THE TYPE "D" CURB AS SHOWN ON DETAIL.
 4. TYPE "D" CURB TO BE CONSTRUCTED IN ACCORDANCE WITH FDOT.
 5. TYPE "D" CURB SHOWN OVERSIZED IN DETAIL FOR CLARITY.



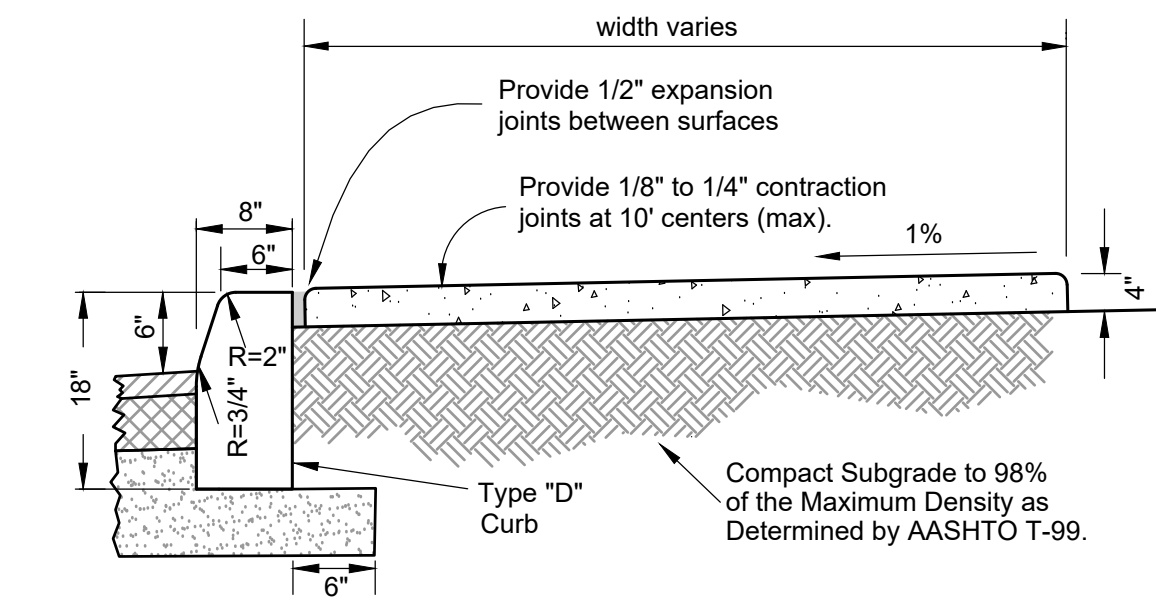
DETECTABLE WARNING

ALL SIDEWALK CURB RAMPS SHALL HAVE DETECTABLE WARNING SURFACES THAT EXTEND THE FULL WIDTH OF THE RAMP AND IN THE DIRECTION OF TRAVEL 24 INCHES (610 MM) FROM THE BACK OF CURB

NOTES:
 REFER TO FDOT INDEX 304 FOR FURTHER DETAILS
 CAST IN PLACE

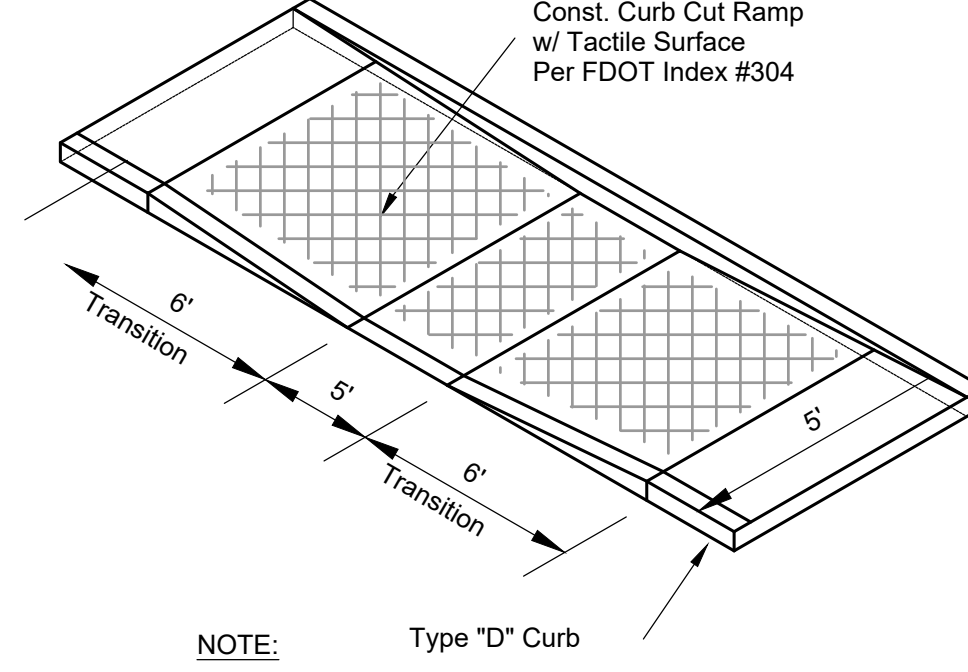


MATERIAL BENCHING DETAIL (FOR ATTACHING TO EXISTING ROADWAY)



TYPE "D" CURB & SIDEWALK COMBINATION
 NOT TO SCALE

NOTES:
 1. USE 3,000 P.S.I. CONCRETE AT 28 DAYS FOR CONSTRUCTION.
 2. SUBGRADE TO EXTEND AN ADDITIONAL 6" BEYOND TYPE "D" CURB.



HANDICAP CURB CUT RAMP

NOTE:
 1. SIDEWALK IS PARALLEL TO CURB.

EDC
 ENGINEERS SURVEYORS ENVIRONMENTAL LAND PLANNERS INTERIOR DESIGNERS

10250 VILLAGE PARKWAY SUITE 201
 PORT ST. LUCIE, FL 34987
 772-462-2455
 www.edc-inc.com

F.B.P.E. CERTIFICATE OF AUTHORIZATION 9935
 L.B. CERTIFICATE OF AUTHORIZATION 8098

DESIGNED BY	JUL
DRAWN BY	JUL
FILE NAME	22-398 Tambores Detail 12.07.2023
DETAILS	LAYOUT
SCALE	AS SHOWN
DATE	30 NOVEMBER 2023

REVISION COMMENTS	DATE

TAMBONE - TCC TRACT B SOUTHERN GROVE PLAT 42 TRACT B TRADITION COMMERCIAL CHARTER

DETAILS

FLORIDA

PORT ST. LUCIE

EDC
 ENGINEERS SURVEYORS ENVIRONMENTAL LAND PLANNERS INTERIOR DESIGNERS

10250 SW VILLAGE PKWY - SUITE 201
 PORT SAINT LUCIE, FL
 772-462-2455

PSL PROJECT # P23-145 PLSLUD PROJECT #5339B-1

22-398

2 OF 2

811
 It's fast. It's free. It's the law.
 Know what's below. Call before you dig.
 www.callsunshine.com